

Madeleine Choir School  
Field House + Classrooms  
HP: New Construction (Principal Structure)



OCT 2021

SPARANO+MOONEY  
ARCHITECTURE





NOTES CORRESPONDING TO SCHEDULE "B"

THE PURPOSE OF THIS SURVEY IS TO PROVIDE THE NECESSARY SURVEY DOCUMENTATION TO SECURE AN ALTA OWNERS POLICY.

TITLE DOCUMENTS

COMMITMENT FOR TITLE INSURANCE ISSUED BY:

STEWART TITLE GUARANTY COMPANY  
COMMITMENT NO. 1152457  
EFFECTIVE DATE: FEBRUARY 22, 2021 AT 8:00 AM

TITLE POLICY EXCEPTIONS

THE FOLLOWING IS A LIST OF TITLE POLICY EXCEPTIONS PERTINENT TO THIS SURVEY AS THEY APPEAR IN SCHEDULE B-SECTION 2, OF THE ABOVE REFERENCED TITLE COMMITMENT:

EXCEPTIONS 1-13 DO NOT RELATE TO SURVEY MATTERS.

EXCEPTION 14: NOTICE OF LOCATION WITHIN A HISTORIC DISTRICT, AND THE TERMS, CONDITIONS AND LIMITATIONS CONTAINED THEREIN, RECORDED JULY 25, 1995, AS ENTRY NO. 6125822, IN BOOK 7191, AT PAGE 2168 OF COUNTY RECORDS.

SURVEY FINDINGS: DOES NOT RELATE TO SURVEY MATTERS.

EXCEPTION 15: (A) THAT CERTAIN ABSTRACT OF FINDINGS AND ORDER RECORDED MARCH 24, 1969, AS ENTRY NO. 228435, IN BOOK 2740, AT PAGE 59, OF COUNTY RECORDS;  
(B) AND RECORDED MARCH 2, 1970 AS ENTRY NO. 232262 IN BOOK 2834 AT PAGE 168;  
(C) AND RECORDED JULY 31, 1984 AS ENTRY NO. 3974042 IN BOOK 5577 AT PAGE 2498;  
(D) AND RECORDED MAY 19, 1986 AS ENTRY NO. 4247282 IN BOOK 5768 AT PAGE 1800;  
(E) AND RECORDED SEPTEMBER 7, 1988 AS ENTRY NO. 4672737 IN BOOK 6062 IN BOOK 722;  
(F) AND RECORDED NOVEMBER 23, 1992 AS ENTRY NO. 537883 IN BOOK 6559 AT PAGE 2466;  
(G) AND JANUARY 8, 1993 AS ENTRY NO. 51081 IN BOOK 6586 AT PAGE 1264, OF OFFICIAL RECORDS.

SURVEY FINDINGS AS FOLLOWS:

- (A) DOES NOT RELATE TO SURVEY MATTERS.  
(B) THE SETBACK FROM 'A' STREET AND 1ST AVENUE ARE AS SHOWN BUT THERE IS NOT A PARKING LOT FROM 'B' STREET.  
(C) THERE IS A CURRENTLY A PARKING LOT OF ELEVEN (11) STALLS THAT HAS ACCESS FROM SECOND (2ND) STREET AS SHOWN.  
(D) THE BUILDING IN THE NORTHWEST CORNER OF THE SUBJECT PROPERTY WAS PERMITTED TO BE WITHIN THE REQUIRED SETBACK AS SHOWN.  
(E) FENCES DO EXIST ON THE SUBJECT PROPERTY AS SHOWN.  
(F) FENCES DO EXIST ON THE SUBJECT PROPERTY AS SHOWN.  
(G) PLAYGROUND AREA EXISTS ON THE SUBJECT PROPERTY AS SHOWN.

EXCEPTION 16: EASEMENT AND RIGHT OF WAY AND THE TERMS AND CONDITIONS THEREIN PROVIDED, IN FAVOR OF ROCKY MOUNTAIN POWER RECORDED JULY 15, 2016 AS ENTRY NO. 1231201, IN BOOK 10452, PAGE 7517 OF OFFICIAL RECORDS.

SURVEY FINDINGS: THE TEN FOOT (10') POWER EASEMENT, THAT CENTERLINE FOLLOWS THE EXISTING CONDUIT AS INSTALLED, BUT THE EXACT LOCATION IS NOT DEFINED, RUNS FROM SECOND (2ND) AVENUE TO THE NORTHEAST CORNER OF THE BUILDING IN THE SOUTHWEST CORNER OF THE SUBJECT PROPERTY AS SHOWN.

EXCEPTION 17: ANY MATTERS THAT MIGHT BE DISCLOSED BY AN ACCURATE SURVEY OF SAID PREMISES.

SURVEY FINDINGS: ALL MATTERS ARE AS SHOWN ON THIS SURVEY PLAT.

EXCEPTIONS 18-19 DO NOT RELATE TO SURVEY MATTERS.

GENERAL NOTES

1. ALL COURSES SHOWN IN PARENTHESIS ARE RECORD INFORMATION TAKEN FROM DEED DESCRIPTION OR OFFICIAL MAPS OR PLATS OF RECORD. ALL OTHER COURSES ARE THE RESULT OF ACTUAL FIELD MEASUREMENTS.

2. ALL PROPERTY CORNERS ARE SET WITH 5/8" REBAR AND PLASTIC CAP STAMPED 'UTAH LAND SURVEYING' OR OTHER PERMANENT MARKERS OR AS OTHER WISE STATED.

3. THE ADDRESS TO THIS PROPERTY IS 67 NORTH 'B' STREET, SALT LAKE CITY, UT 84103.

4. THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.

5. THERE IS NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

6. THERE ARE NO VISIBLE ENCROACHMENTS ON THE DESCRIBED LAND BY ANY IMPROVEMENTS ON ANY ADJOINING PREMISES, NO ENCROACHMENTS ON ADJOINING PREMISES BY IMPROVEMENTS ON THE DESCRIBED LAND AND OTHER THAN THOSE SHOWN ON THIS SURVEY PLAT THERE IS NO APPARENT EVIDENCE OR SIGN OF ANY EASEMENT CROSSING OR BURDENING ANY PART OF THE LAND.

7. THERE IS NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.

8. THE SUBJECT PROPERTY IS SERVICED BY PUBLIC UTILITIES FROM PUBLICLY DEDICATED STREETS.

UTILITY NOTE

THE UTILITY INFORMATION SHOWN ON THIS PLAT IS BASED ON ABOVE GROUND EXISTING STRUCTURES AS OBSERVED AND LOCATED BY THE SURVEYOR IN THE FIELD AS WELL AS INFORMATION PROVIDED TO THE SURVEYOR. NO FURTHER INVESTIGATION OR EXISTING UTILITIES WERE PERFORMED FOR THIS SURVEY, THEREFORE THE SURVEYOR IS NOT RESPONSIBLE FOR THE REPRESENTATION OR OMISSION OR SUCH INFORMATION ON THIS PLAT. CONTACT BLUE STAKES BEFORE ANY DIGGING, EXCAVATION OR CONSTRUCTION IS TO TAKE PLACE.

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LEGEND

POB TBC TC FG NG BK PG PS	Point of Beginning Top Back of Curb Top of Concrete Finish Grade Natural Grade Book Page Section Monument	MON CON CON POL PC PCC PT	Monument Concrete Right-of-Way Point on Line Point of Curvature Point on Curve Point of Tangent	EG EA TC FG NG BK	Edge of Gravel Edge of Asphalt Top of Concrete Finish Grade Natural Grade Book
PS	Section Monument	SM	Street Monument	EW	Edge of Gravel
PC	Property Corner	SE	Spot Elevation	LP	Light Pole
FD	Fire Hydrant	HP	Handicap Parking	T	Tree
SD	Storm Drain Manhole	TP	Telephone Pedestal	PKC	Parking Stall Count
W	Water Manhole	WM	Water Meter	GM	Gas Meter
SS	Sanitary Sewer Manhole	SSC	Sanitary Sewer Cleanout	EB	Electrical Box
P	Power Manhole	GWA	Guy Wire Anchor	ICVB	Irrigation Control Valve Box
COM	Communication Manhole	PP	Power Pole	PM	Power Meter
BL	Break Line	WV	Water Valve	CTVP	Cable TV Pedestal
TRFM	Transformer	C2X2	Catch Basin 2'x2'	RS	Revision Symbol
PL	Property Line	CA	Cable Communications Line		
SL	Section Line	FO	Fiber Optics Line w/Manhole		
CL	Center Line	G	Gas Line w/ Valve		
EL	Easement Line	IR	Irrigation Line w/ Valve		
FL	Fence Line (other)	OP	Overhead Power Line w/ Pole		
VF	Vinyl Fence	UGP	Underground Power Line w/ Box		
CLF	Chain Link Fence	SD	Storm Drain Line w/ Catch Basin		
WF	Wood Fence	SS	Sanitary Sewer Line w/ Manhole		
WF	Wire Fence	T	Telephone Line w/ Box		
CG	Curb & Gutter	W	Water Line w/ Valves		
CW	Curb Wall	EG	Edge of Gravel Road		
CL	Contour Line	EA	Edge of Asphalt		
D	Ditch				

BASIS OF BEARINGS

THE BASIS OF BEARING FOR THIS SURVEY WAS ESTABLISHED USING FOUND SALT LAKE CITY SURVEY MONUMENTS LOCATED AT THE INTERSECTIONS OF 'A' STREET AND 'B' STREET ALONG SECOND (2ND) AVENUE AS SHOWN ON THIS SURVEY PLAT.

PARKING STALLS

THIS SURVEYED PROPERTY HAS A TOTAL OF ELEVEN (11) PARKING STALLS, ONE (1) OF WHICH ARE RESERVED FOR THE HANDICAP.

FLOOD NOTE

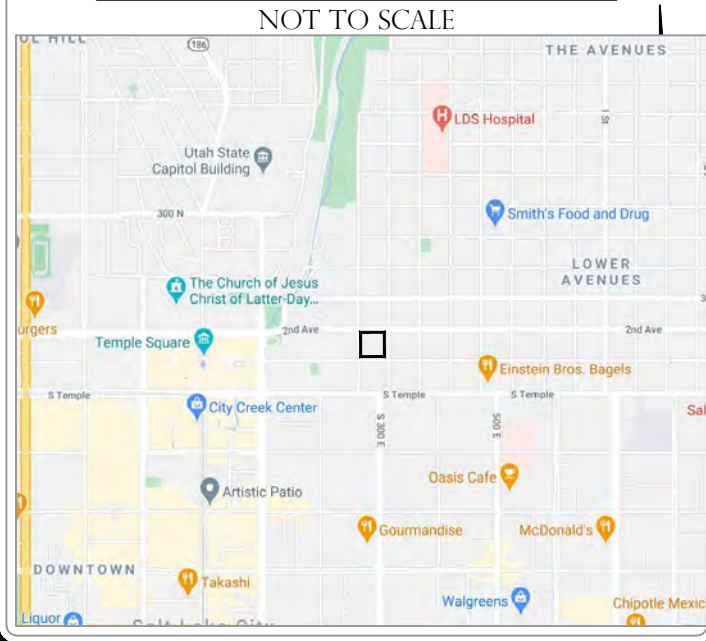
THE SURVEYED PROPERTY IS LOCATED WITHIN ZONE "X", "AREA OF MINIMAL FLOOD HAZARD", ACCORDING TO THE FLOOD INSURANCE RATE MAP WITH COMMUNITY PANEL NO. 49035C0144H, BEARING AN EFFECTIVE DATE OF AUGUST 2, 2012.

ZONING NOTES

THE SURVEYED PROPERTY IS LOCATED IN 'T' ZONE (INSTITUTIONAL) OF THE SALT LAKE CITY ZONING CODE WAS OBTAINED BY (WWW.SLCGOV.COM). THE FOLLOWING APPLY:

FRONT YARD SET BACK = 20 FEET;  
SIDE YARD SETBACK = 20 FEET;  
REAR YARD = 25 FEET;  
MAXIMUM BUILDING HEIGHT = 35 FEET;  
MAXIMUM BUILDING COVERAGE = 60%;  
LANDSCAPE FRONT YARD SETBACK = 20 FEET;  
LANDSCAPE CORNER SIDE YARD SETBACK = 20 FEET;  
LANDSCAPE INTERIOR SIDE YARD SETBACK = 8 FEET;  
LANDSCAPE REAR YARD SETBACK = 8 FEET

VICINITY MAP



LEGAL DESCRIPTION

THE FOLLOWING DESCRIBED TRACT(S) OF LAND IN SALT LAKE COUNTY, STATE OF UTAH, DESCRIBED AS FOLLOWS:

PARCEL 1: (09-31-382-002-2000)

ALL OF BLOCK 16, PLAT 'D', SALT LAKE CITY SURVEY.

EXCEPTING THEREFROM ALL BUILDINGS, STRUCTURES AND IMPROVEMENTS.

PARCEL 2: (09-31-382-002-2001)

ALL BUILDINGS, STRUCTURES AND IMPROVEMENTS LOCATED ON:

ALL OF BLOCK 16, PLAT 'D', SALT LAKE CITY SURVEY.

SHEET TITLE

ALTA/NSPS LAND TITLE SURVEY

PREPARED FOR ROMAN CATHOLIC BISHOP OF SLC

ATTN:

67 N. 'B' STREET

SALT LAKE CITY, UT 84103

LOCATION SOUTHWEST 1/4, SEC 31, TIN, R1E, SLB&M

REV	DATE	DESCRIPTION
1		
2		
3		
4		
5		

DATE:	03/31/2021
SCALE:	1" = 30'
DRAWN:	MLW
CHECKED:	MLW

ALTA/NSPS LAND TITLE SURVEY

SURVEYOR'S CERTIFICATE:

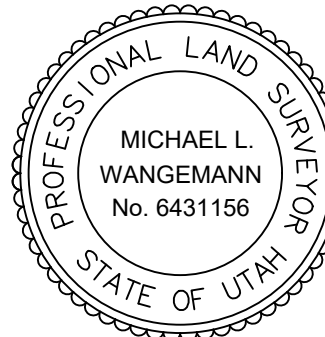
TO: ROMAN CATHOLIC BISHOP OF SALT LAKE CITY, A CORPORATION SOLE  
STEWART TITLE GUARANTY COMPANY AND EACH OF THEIR RESPECTIVE SUCCESSORS AND ASSIGNS.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1.2, 3, 4, 6(A), 6(B), 7(A), 7(B)(1), 7(C), 8, 9, 10(A), 11, 13, 14, 16, 17, 18, 19 AND 20 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MARCH 17, 2021.

Michael L. Wangemann, PLS

Date of Plat or Map: March 31, 2021

PLS# 6431156-2201



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A PROFESSIONAL LICENSED LAND SURVEYING COMPANY



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FARMINGTON, UT 84025

PHONE 801.725.8395  
mikew@utahlandsurveying.com

www.utahlandsurveying.com

JOB NUMBER

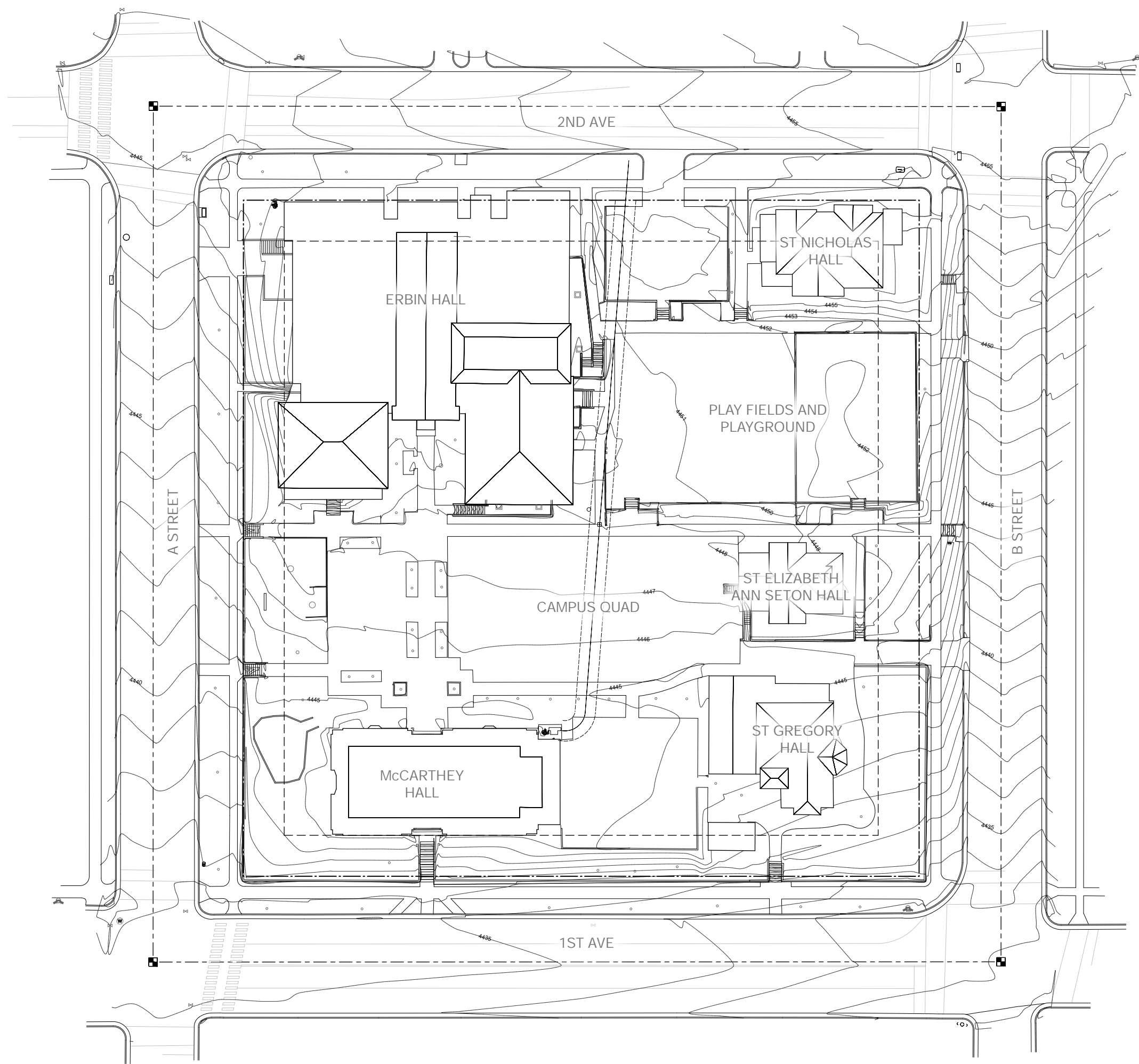
1751-21

SHEET

1 OF 1



EXISTING  
History and Current Condition



SCALE: 1"=50'-0"



EXISTING SITE PLAN



ST NICHOLAS HALL / B STREET AND 2ND AVE



ST ELIZABETH ANN SETON HALL / B STREET



ST GREGORY HALL / B STREET



PLAY FIELDS / ST NICHOLAS HALL



PLAY FIELDS / ST ELIZABETH ANN SETON HALL



QUAD / ERBIN HALL



ERBIN HALL SOUTH ENTRY



ERBIN HALL NORTH ENTRY



MCCARTHEY HALL NORTH ENTRY

MADELEINE CHOIR SCHOOL FIELDHOUSE  
205 1ST AVE NORTH, SALT LAKE CITY, UT 84103

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TABLE 21A.44.030  
SCHEDULE OF MINIMUM OFF STREET PARKING REQUIREMENTS

PARKING REQUIRED:

SALT LAKE CITY ZONING TABLE 21A.44.030  
SCHOOLS (K-8TH GRADES): 1 PARKING SPACE FOR EACH 3 FACULTY  
TOTAL STAFF: 83  
TOTAL REQUIRED: 83/3 = 28 STALLS

PARKING PROVIDED:

87 GENERAL SPOTS AND 6 ACCESSIBLE STALLS BETWEEN TWO LOTS  
ALONG A STREET



MADELEINE CHOIR SCHOOL CAMPUS  
205 FIRST AVENUE  
SALT LAKE CITY, UT 84103

CATHEDRAL OF THE MADELEINE

MADELEINE CHOIR SCHOOL FIELDHOUSE  
205 1ST AVE NORTH, SALT LAKE CITY, UT 84103



EXISTING  
History and Current Condition

SUBJECT PROPERTY  
205 FIRST AVENUE  
SALT LAKE CITY, UT 84103

Building Site and Scale Guidelines

13.1 The traditional historic development pattern should be recognized and maintained in new development.

RESPONSE: The proposed structure is situated on its site in a manner that allows building facades to be oriented toward 2nd Avenue and B Street. Existing front yard setbacks and spacing of side yards and access are reflected in the proposal. The building entrance to be oriented toward 2nd Avenue to the North and from the internal campus quad from the South.

13.5: The height of a new building design should reflect the established building scale of the setting and area.

RESPONSE: The surrounding context consists of 3 and 4 floor apartments and condos. The proposed structure provides 2 floors and roof deck that reflects the established building scale of the setting and area. Please also refer to the figure ground study demonstrating the compatibility of the building scale within the neighborhood context.



1. GRAYLYN APARTMENTS



2. AVENUE VIEW APARTMENTS



3. CAITHNESS CONDOS



4. APARTMENTS ON B ST



5. WILSHIRE ARMS



6. CATHEDRAL OF THE MADELEINE

SITE CONTEXT MAP

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STREET AND BLOCK PATTERN



EXISTING  
History and Current Condition

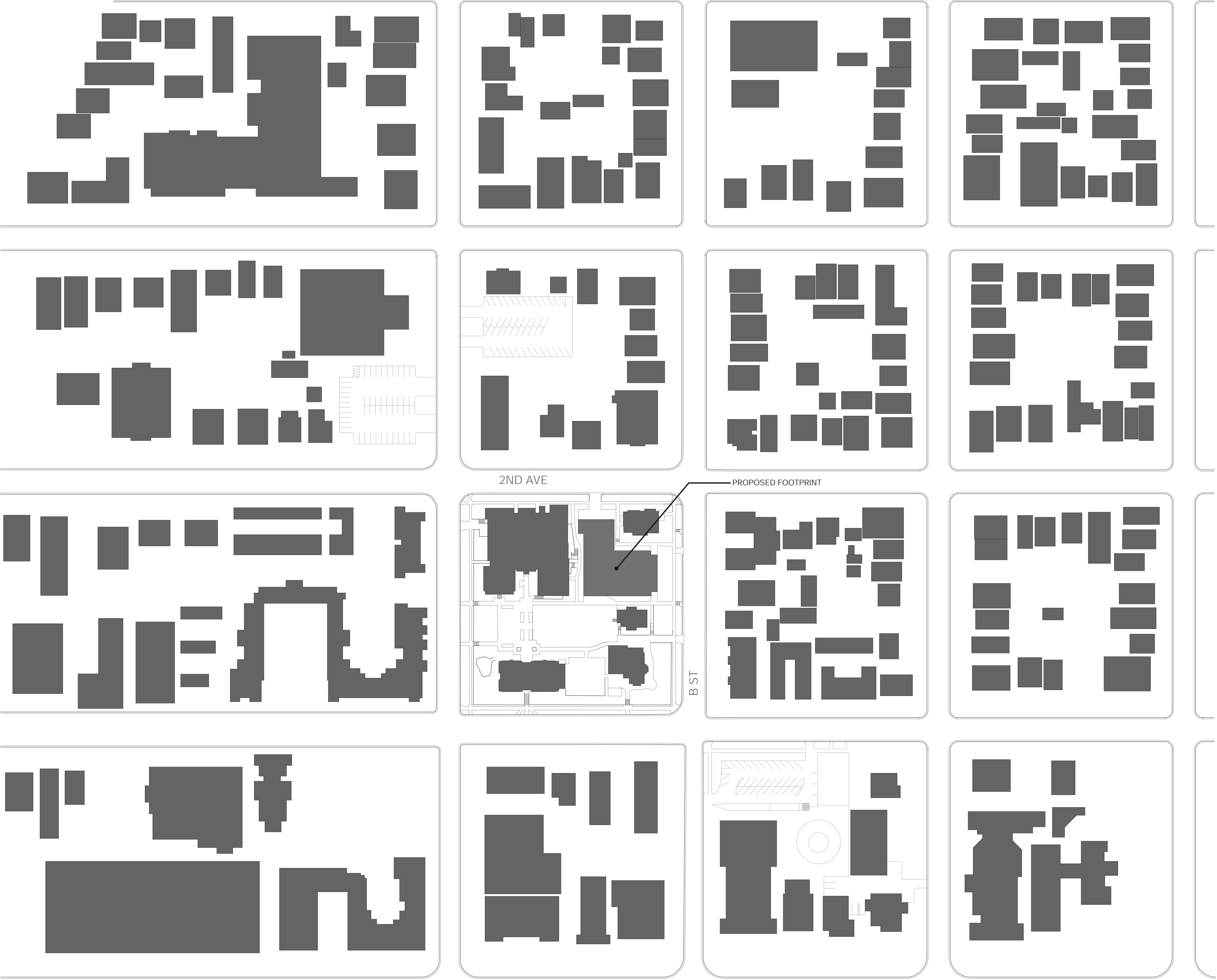
Building Form Guidelines

13.2 Historic street patterns should be maintained.

RESPONSE: The proposed structure is located on the site in a manner consistent with the spatial rhythm of the street and neighborhood. Historic alley/access network patterns and widths are preserved.

13.6: The Massing characteristics of the new area should form the basis for the scale of new development.

RESPONSE: The massing of the building is partially determined by the program requirements and also considers the characteristics of the area as the basis the proposed structure. The massing is broken up and stepped down on the North and South sides to create a rhythm connecting the building to its context and providing a similar width and scale to other structures found along the street.



SCALE: 1"=80'-0"

STREET AND BLOCK PATTERN



# Site Design Guidelines

## BASE ZONING ORDINANCE STANDARDS

ZONING:	I: INSTITUTIONAL (21A.32.080)	
STANDARDS:	PROPOSED:	COMPLIES (Y/N)
MINIMUM LOT AREA:20,000 SF	MINIMUM LOT AREA:108,900 SF	Y
MAXIMUM LOT AREA:N/A	MAXIMUM LOT AREA:N/A	Y
MINIMUM LOT WIDTH:100 FT	MINIMUM LOT WIDTH:330.27'	Y
MAXIMUM BUILDING COVERAGE:60%	MAXIMUM BUILDING COVERAGE41%	Y
FRONT YARD SETBACK20 FT	FRONT YARD SETBACK20 FT	Y
REAR YARD SETBACK:25 FT	REAR YARD SETBACK:180 FT	Y
INTERIOR SIDE YARD SETBACK20FT	INTERIOR SIDE YARD SETBACK20FT	Y
MAXIMUM BUILDING HEIGHT:35 FT	MAXIMUM BUILDING HEIGHT:34 FT	Y
MAXIMUM WALL HEIGHT: N/A	MAXIMUM WALL HEIGHT:N/A	Y
REQUIRED LANDSCAPE YARDS20 FT	REQUIRED LANDSCAPE YARDS20 FT	Y
LANDSCAPE BUFFER:N/A	LANDSCAPE BUFFER:N/A	Y

MAX BLDG COV'G CALCULATIONS:  
MAX: 60%

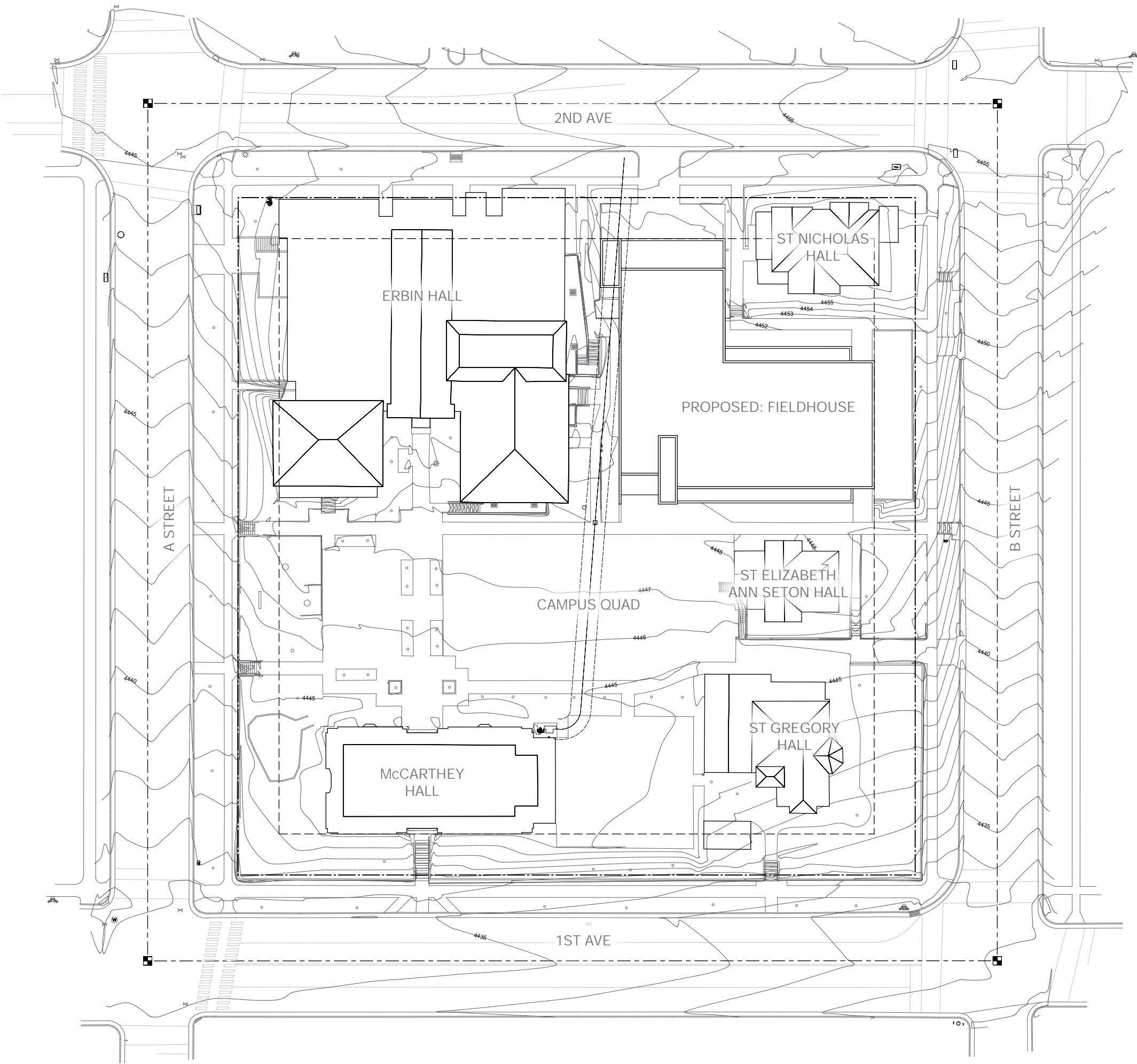
108,900 X .60 = 65,340 SF MAX ALLOWED  
32,851 SF CURRENT BUILDINGS AREA = (30%)  
32,851 SF + 12,189 (NEW) =45,040 SF  
= (41%)

## OPEN SPACE CALCULATIONS:

21A.32.080 INSTITUTIONAL DISTRICT: E. MIN OPEN SPACE  
AREA SHALL NOT BE LESS THAN 40% OF LOT AREA

TOTAL LOT AREA: 108,900 SF

108,900 X .40 = 43,560 SF OPEN SPACE REQ'D  
32,851 SF CURRENT BUILDINGS AREA = 76,049 SF (70%)  
32,851 SF + 12,189 (NEW) =45,040 SF  
= 63,860 PROPOSED (59%)

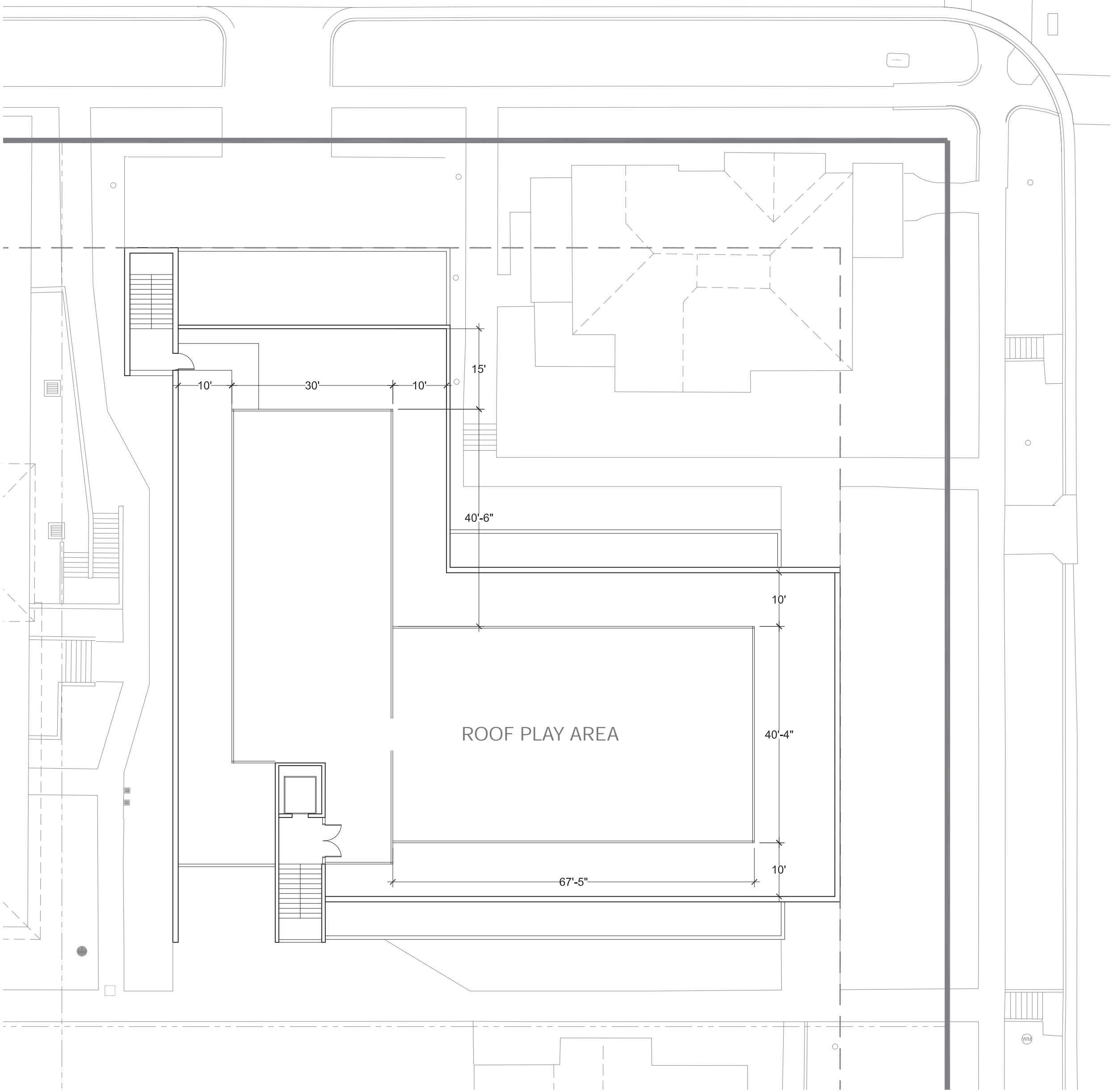


SCALE: 1"=50'-0"

 SITE PLAN

## BUILDING CODE SUMMARY (V-B SPRINKLERED)

CODE REVIEW:	BASED ON THE 2018 IBC
BUILDING USE:	GYMNASIUM AND CLASSROOM
OCCUPANCY CLASSIFICATION:	E (IBC SECTION 305)
CONSTRUCTION TYPE:	VB
FULLY SPRINKLERED:	YES
OCCUPIED ROOF:	YES (SEE IBC 503.1.4)
ALLOWABLE BLDG HEIGHT:	60' (IBC TABLE 504.3) 35' ALLOWED
ALLOWABLE # OF STORIES:	2 (IBC TABLE 504.4)
ALLOWABLE AREA:	38,000 SF (506.2) 12,600 SF PROPOSED
FIRE RATING REQ:	NO RATINGS REQ'D VB (TABLE 601)



SCALE: 1/16"=1'-0"

 ROOF PLAN

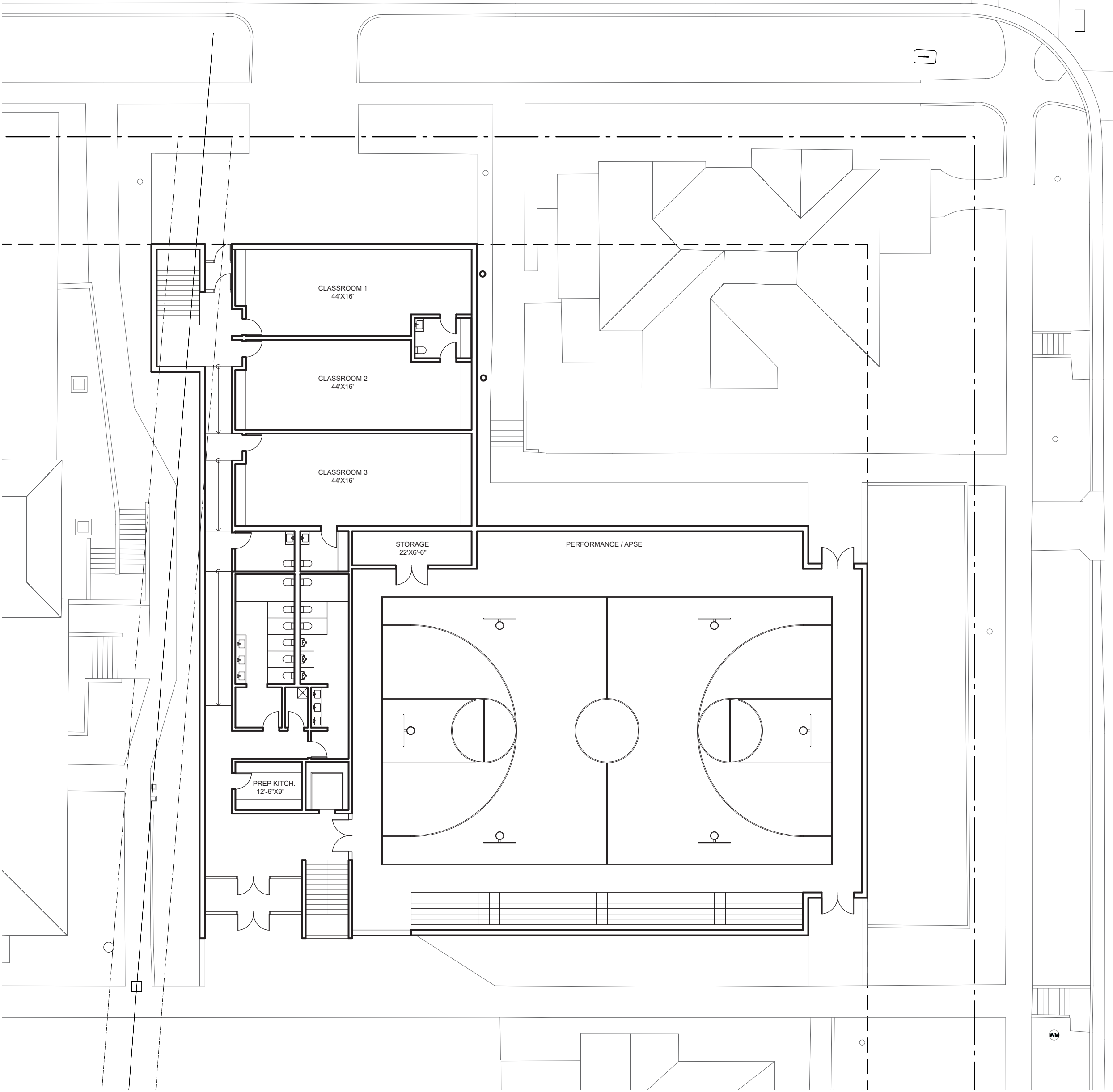
MADELEINE CHOIR SCHOOL FIELDHOUSE  
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SPARANO + MOONEY ARCHITECTURE



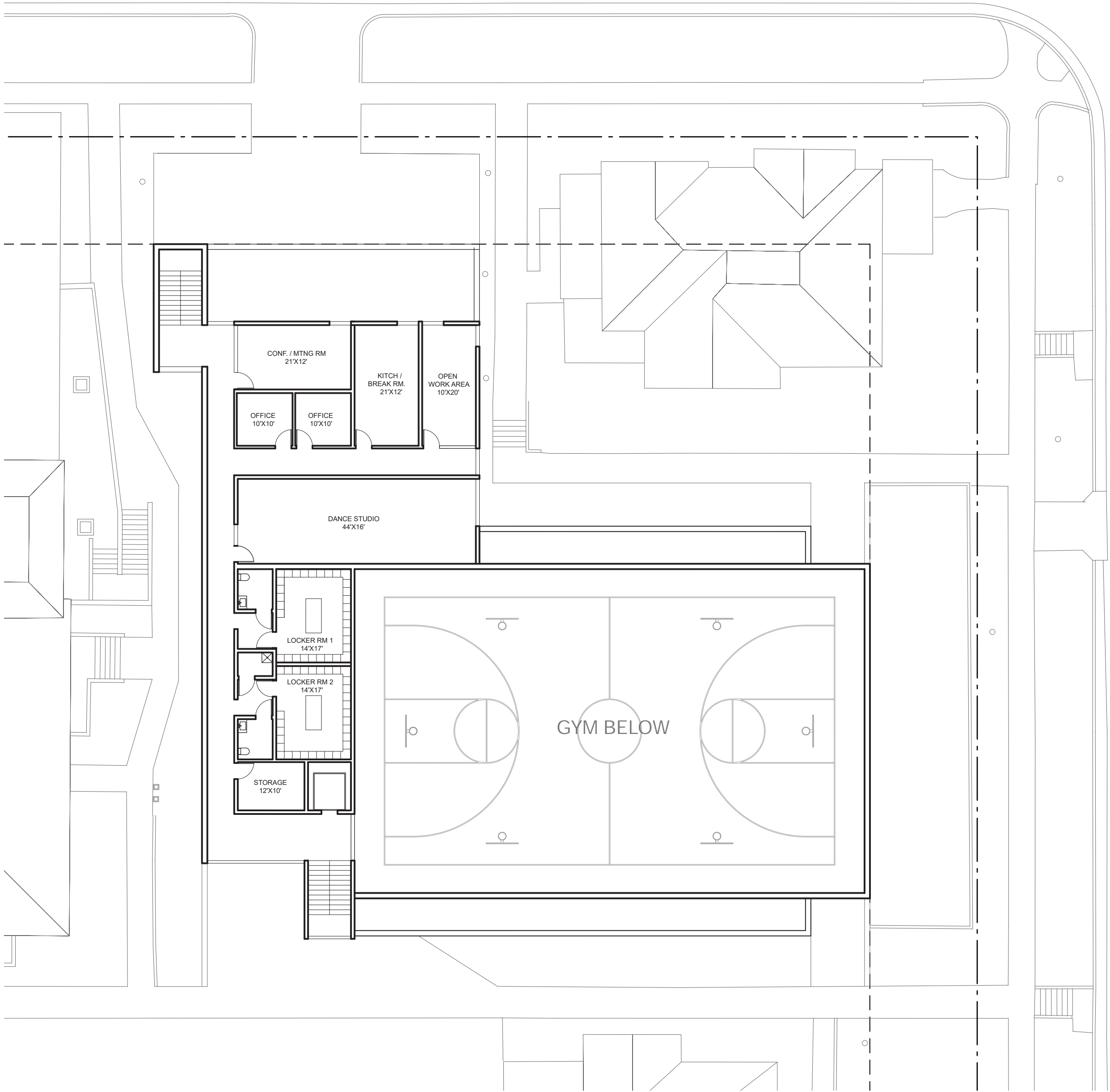
Building Scale Guidelines

SQUARE FOOTAGE SUMMARY	
STREET LEVEL:	12,189 SF
UPPER LEVEL:	4,302 SF
TOTAL:	16,491 SF



SCALE: 1/16" = 1'-0"

STREET LEVEL PLAN



SCALE: 1/16" = 1'-0"

UPPER LEVEL PLAN

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# Building Scale Guidelines

13.7: The street façade should appear similar in scale to the established scale of the current street block.

RESPONSE: Facades along 2nd Avenue and B Street have a similar scale and material (masonry and glazing). As a result, the massing and solid to void relationship of the proposed structure is consistent along the current street block.

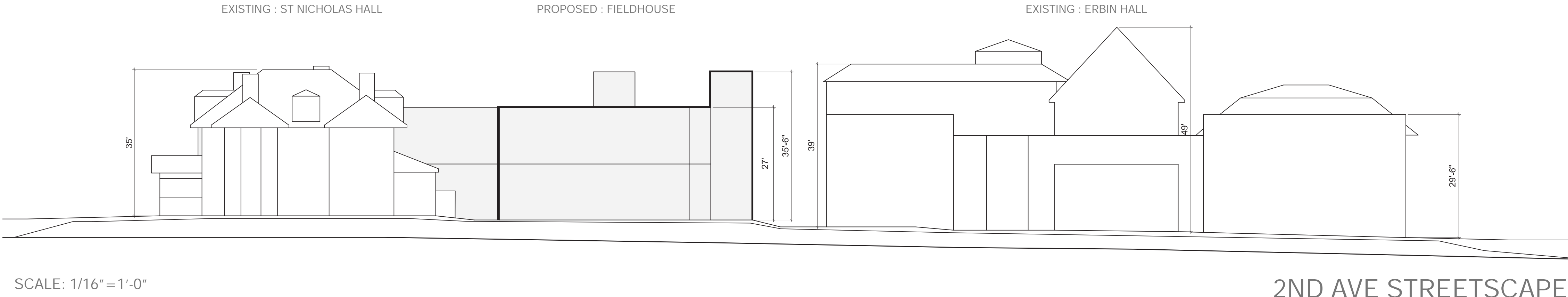
## MAXIMUM BUILDING HEIGHT

21A.32.080: I INSTITUTIONAL DISTRICT:  
D. Maximum Building Height: Building height shall be limited to thirty five feet (35'). Building heights in excess of thirty five feet (35') but not more than seventy five feet (75') may be approved through the design review process; provided, that for each foot of height over thirty five feet (35'), each required yard shall be increased one foot (1').

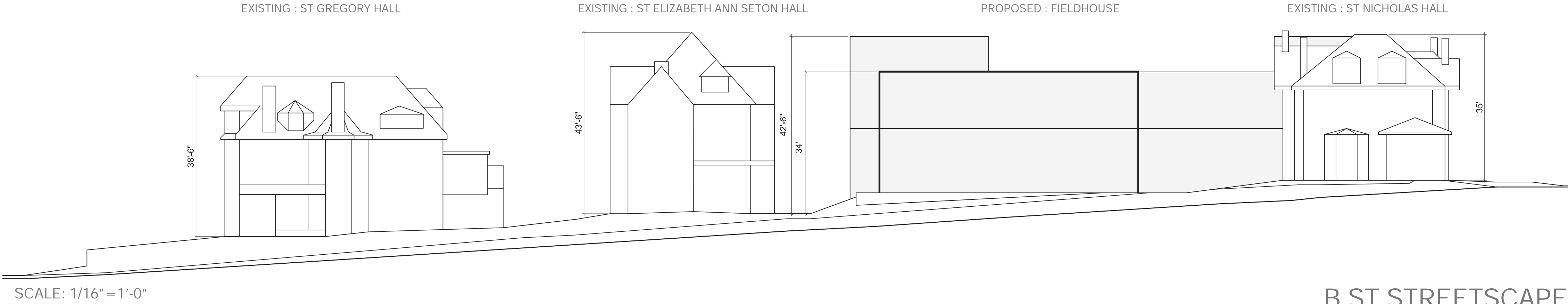
# Building Form Guidelines

13.8: A new building should be designed to reinforce a sense of human scale.

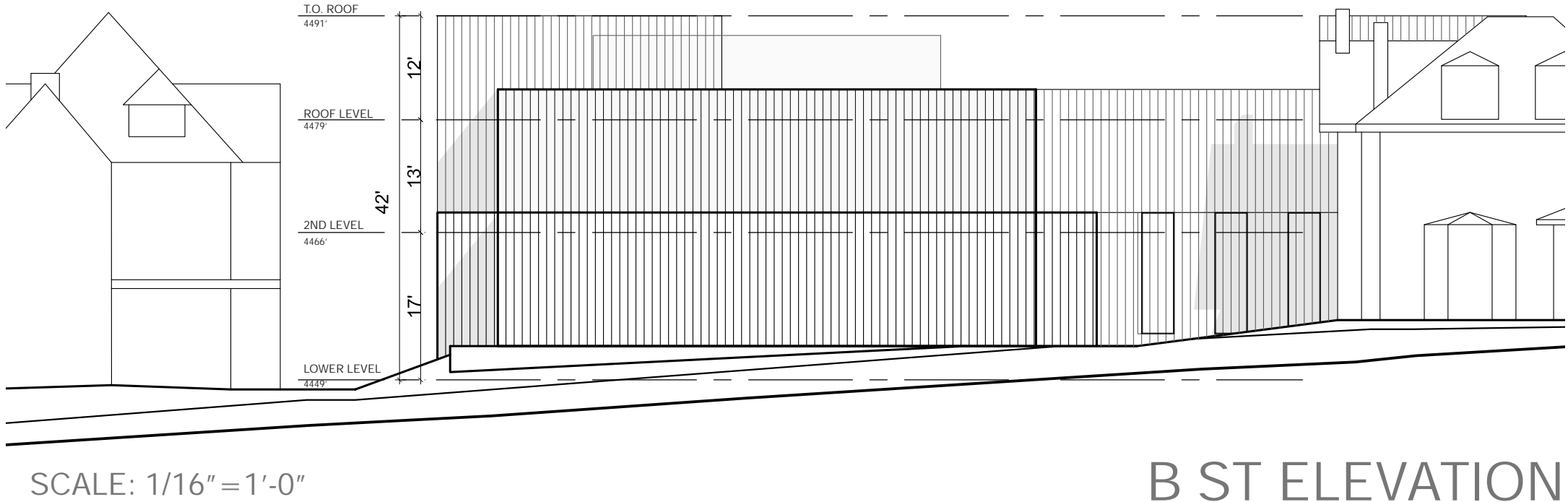
RESPONSE: The massing is broken up by the use of masonry with changes in texture and bonding to create divisions and visual interest. The use of this propose building material reflects the surrounding context while allowing the structure to utilize details and proportions to express/reinforce the design at a human scale. The landscape layer along the East façade further humanizes the elevation and provides a soft layer that changes with the seasons.



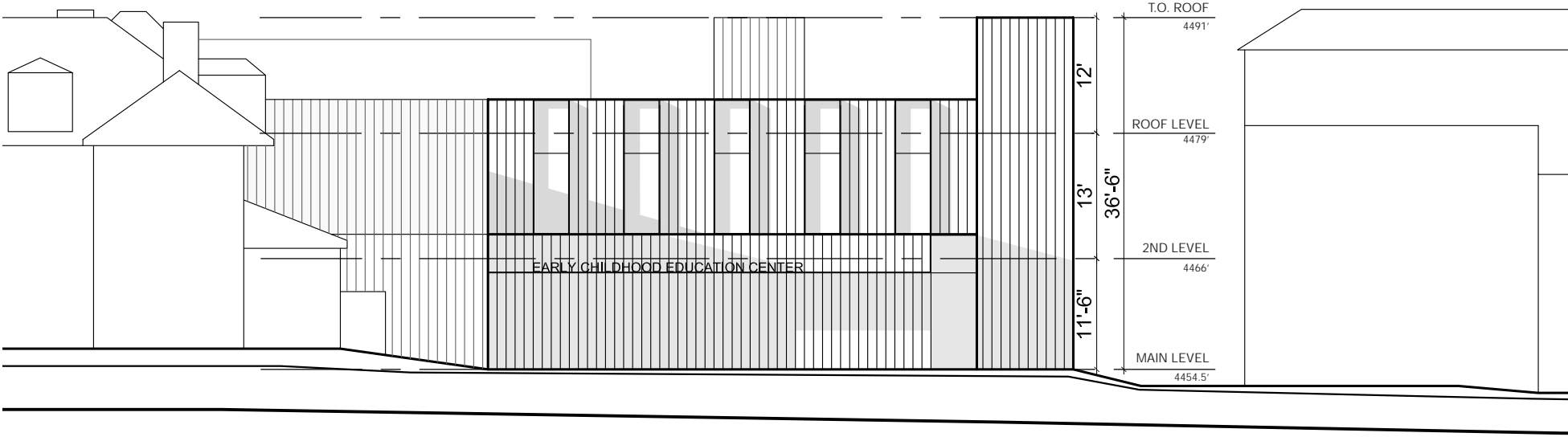
2ND AVE STREETSCAPE



B ST STREETSCAPE



B ST ELEVATION



2ND AVE ELEVATION

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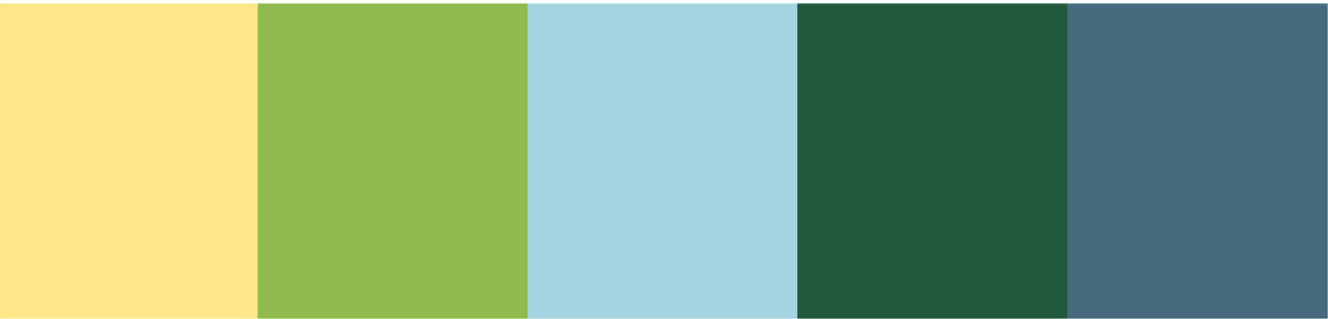
Building Materials + Details

13.20: Exterior building materials should be of a high quality and compatible with adjacent buildings.

RESPONSE: The proposed structure utilizes masonry and colored glazing similar to those found in the immediate surrounding area.

13.21: New alternative materials that are compatible in character to historical materials may be acceptable with appropriate detailing.

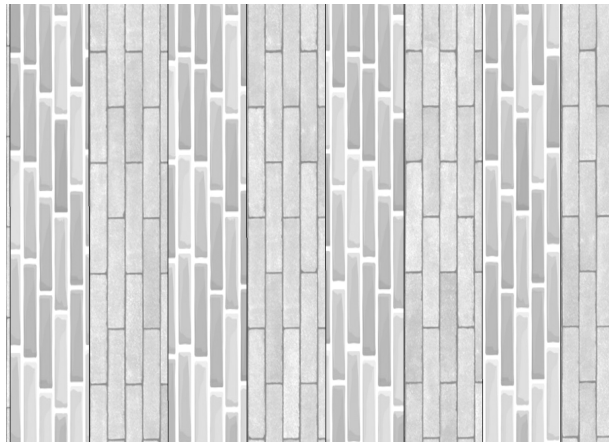
RESPONSE: New stack/ bond, and dimensions of brick are used to create visual interest while being compatible with existing character. Colored glazing will also be utilized as a way to further connect the building to the nearby Cathedral



CONTEXT PALETTE



COLORED LAMINATED GLAZING



VERTICAL BRICK CLADDING



FIBRE C GLASS FIBRE REINFORCED CONCRETE PANELS



B STREET CORNER PERSPECTIVE



2ND AVE PERSPECTIVE

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